

- 18.60.010 C-4 - General Commercial Zone.
- 18.60.020 M-1 - Light Industrial Zone.
- 18.60.030 PF - Public Facilities Zone.
- 18.60.040 Uses Permitted in Non-Residential Zones.

CHAPTER 18.60: NON-RESIDENTIAL ZONES

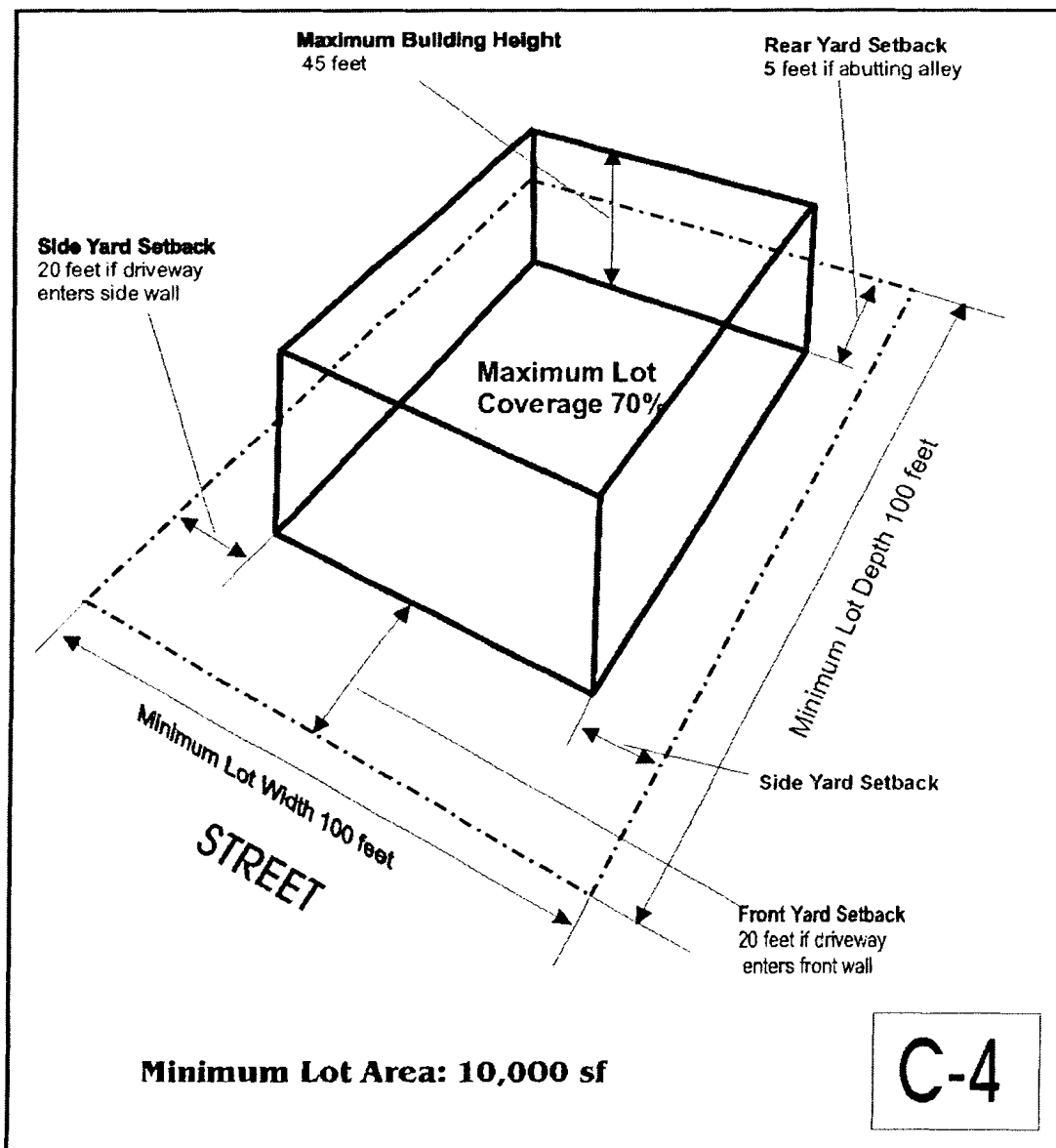
Non-residential zones are designed and intended to support and serve residents of the City with areas for commerce and industry, goods and services, employment, recreation, education, public safety, social and cultural facilities.

18.60.010 C-4 - General Commercial Zone.

- A. Purpose.** The purpose of the General Commercial (C-4) zone is to designate areas for office / professional and retail businesses in the City, that support residential areas and provide jobs for area residents. These areas are intended to accommodate a variety of shops for goods and services to serve the needs of the surrounding community.
- B. Permitted Uses.** Permitted uses in this zone are set forth in *Section 18.60.040*, below.
- C. Development Standards.** Development within the C-4 zone shall comply with the following development standards:

C-4 STANDARDS	
<i>Minimum Lot Size</i>	10,000 square feet
<i>Minimum Lot Width</i>	100 feet
<i>Minimum Lot Depth</i>	100 feet
<i>Maximum Lot Coverage</i>	70%
<i>Setbacks</i>	
Front • Except where permitted driveways enter front wall of building	None required that portion of wall shall be located not less than 20 feet from front lot line
Side • Except where permitted driveways enter side wall of building	None required that portion of wall shall be located not less than 20 feet from side lot line
Rear • Except where lot abuts a public alley	None required 5 feet
<i>Maximum Height</i>	45 feet
<i>Minimum Distance Between Buildings</i>	10 feet

Requirements for parking, landscape, trash enclosures, fences, walls, outdoor storage, etc. and non-residential design guidelines are provided in *Chapter 18.70: Non-Residential Regulations*.

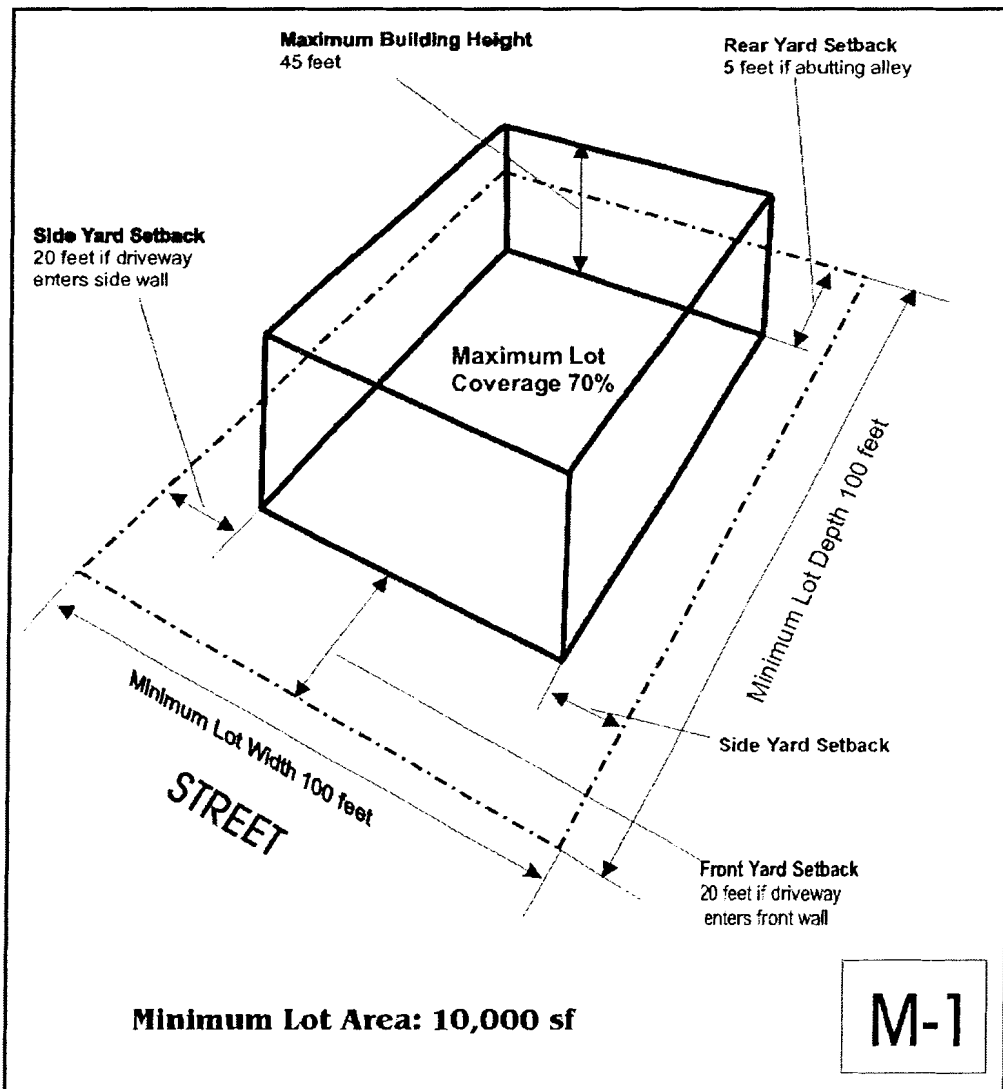


18.60.020 M-1 - Light Industrial Zone.

- A. Purpose.** The purpose of the Light Industrial (M-1) zone is to provide areas for light industrial, wholesale and manufacturing activities in areas that promote efficiency in street and utility design, separating these uses from residential uses and ensure the availability of adequate public services.
- B. Permitted Uses.** Permitted uses in this zone are set forth in *Section 18.60.040*, below.
- C. Development Standards.** Development within the M-1 zone shall comply with the following development standards:

M-1 STANDARDS	
<i>Minimum Lot Size</i>	10,000 square feet
<i>Minimum Lot Width</i>	100 feet
<i>Minimum Lot Depth</i>	100 feet
<i>Maximum Lot Coverage</i>	70%
<i>Setbacks</i>	
Front • Except where permitted driveways enter front wall of building	None required that portion of wall shall be located not less than 20 feet from front lot line
Side • Except where permitted driveways enter side wall of building	None required that portion of wall shall be located not less than 20 feet from side lot line
Rear • Except where lot abuts public alley	None required 5 feet
<i>Maximum Height</i>	45 feet
<i>Minimum Distance Between Buildings</i>	10 feet

Requirements for parking, landscape, trash enclosures, fences, walls, outdoor storage, etc. and non-residential design guidelines are provided in *Chapter 18.70: Non-Residential Regulations*.

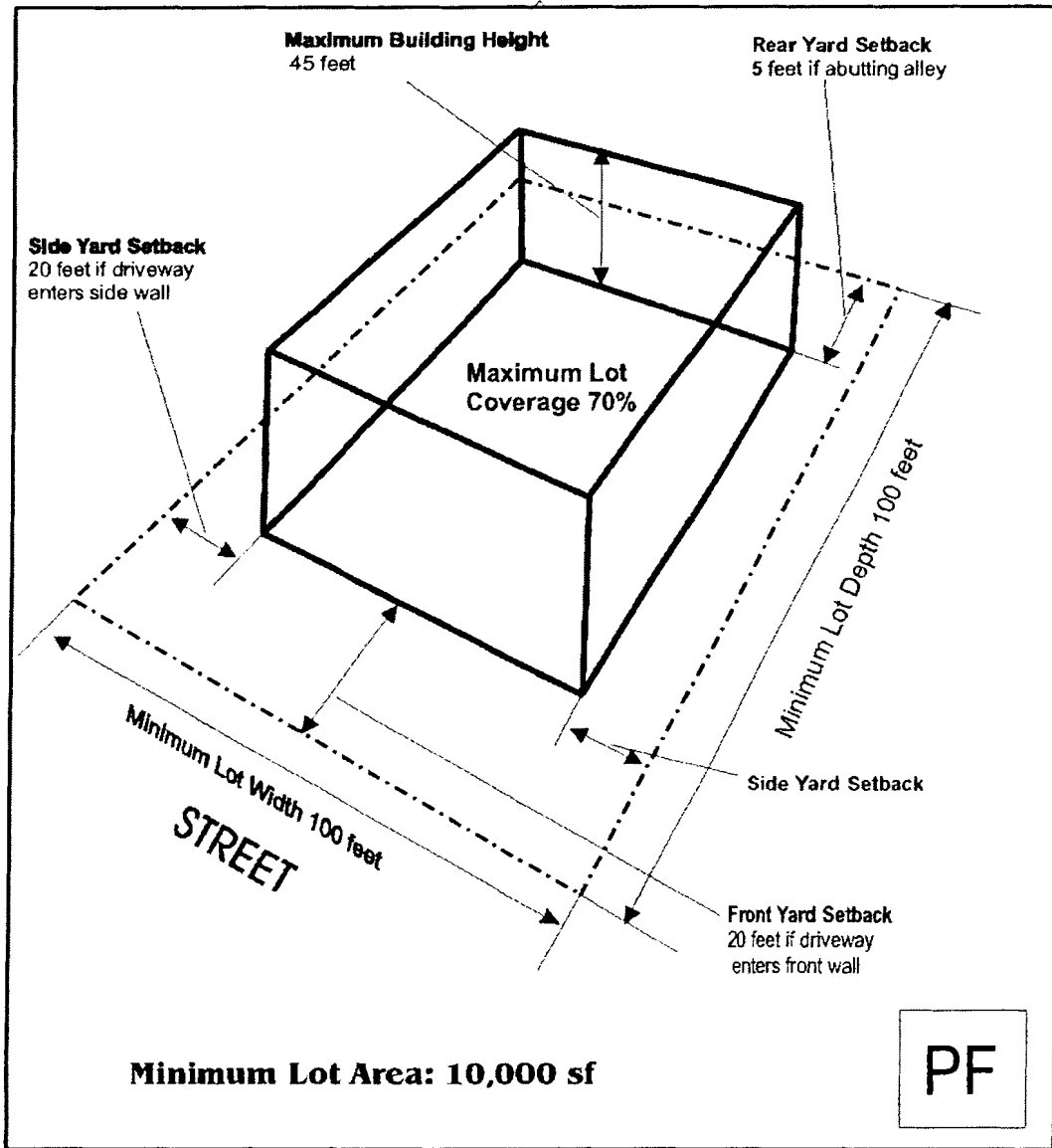


18.60.030 PF - Public Facilities Zone.

- A. Purpose.** The purpose of the Public Facilities zone is to provide for adequate space for public and quasi-public community facilities. These facilities should be conveniently located to serve the needs of the community and protected from intrusion by other land uses. While the Zoning Map classifies this zone into the different land uses, the same development standards apply to all public and quasi public uses.
- B. Permitted Uses.** Permitted uses in this zone are set forth in *Section 18.60.040*, below.
- C. Development Standards.** Development within the Public Facilities zone shall comply with the following development standards:

PF (PUBLIC FACILITIES) STANDARDS	
<i>Minimum Lot Size</i>	10,000 square feet, except that no minimum lot size is required for public parks and open space areas.
<i>Minimum Lot Width</i>	100 feet
<i>Minimum Lot Depth</i>	100 feet
<i>Maximum Lot Coverage</i>	70%
<i>Setbacks</i>	
Front • Except where permitted driveways enter front wall of building	None required that portion of wall shall be located not less than 20 feet from front lot line
Side • Except where permitted driveways enter side wall of building	None required that portion of wall shall be located not less than 20 feet from side lot line
Rear • Except where lot abuts public alley	None required 5 feet
<i>Maximum Height</i>	45 feet
<i>Minimum Distance Between Buildings</i>	10 feet

Requirements for parking, landscape, trash enclosures, fences, walls, outdoor storage, etc. and non-residential design guidelines are provided in *Chapter 18.70: Non-Residential Regulations*.



18.60.040 Uses Permitted in Non-Residential Zones.

A. **Uses and Structures Permitted.** The table of Permitted Uses, below, lists the specific uses and structures which are permitted within each Non-residential zone. No use is permitted in a parcel in any zone unless it is in full compliance with applicable standards and regulations, as contained in this Zoning Code. The letters in the columns beneath the zone designations mean the following:

1. **P** - Permitted as a principal or accessory use within the zone.
2. **C** - Permitted as a principal or accessory use if a Conditional Use Permit is approved.
3. **M** - Permitted as an accessory use if a Minor Use Permit is approved.
4. **T** - Permitted as a temporary use with an approved Temporary Use Permit.
5. **X** - Prohibited in that district, unless it is a legally established nonconforming use.

USES PERMITTED IN NON-RESIDENTIAL ZONES			
Land Use	General Commercial Zone (C-4)	Light Industrial Zone (M-1)	Public Facilities Zone (PF)
Residential Uses			
Accessory Dwelling Unit	X	X	X
Apartment (multi-family rental units)	X	X	X
Bed and Breakfast Inns	C	X	X
Boarding House	C	X	X
Condominium (residential)	X	X	X
Convents/Monastery	C	X	X
Duplex or Two-Family Dwelling	X	X	X
Employee Quarters (manager or caretaker quarters)	P	P	X
Factory-built Housing	X	X	X
Group Home	X	X	X
Lodging Houses	X	X	X
Manufactured Housing/Mobilehome	X	X	X
Mobilehome Park*	X	X	X
Multi-Family Housing	X	X	X
Rooming Houses	X	X	X
Senior Housing	X	X	X
Second Unit	X	X	X
Single family Unit	X	X	X
Townhouses/Townhome	X	X	X
Youth Hostels	X	X	X

USES PERMITTED IN NON-RESIDENTIAL ZONES			
Land Use	General Commercial Zone (C-4)	Light Industrial Zone (M-1)	Public Facilities Zone (PF)
Institutional Uses			
Administrative Government Services	M	M	P
Adult Day Care	C	X	X
Child Care Center	C	X	P
Churches, convents, monasteries, other religious institutions, and other places of public assembly	C	X	C
Community Care Facilities	C	X	X
Community Centers, Lodges, Social Halls	C	X	C
Cultural Facilities	C	X	P
Educational Facilities, Private	M	X	P
Emergency Shelters	P	X	P
Family Day Care Home	X	X	X
Fire Station	C	C	P
Foster Family Home	X	X	X
Game Courts (basketball, tennis, racquetball, etc.)	C	X	P
Government Buildings	M	M	P
Head Start Facilities	C	X	C
Health Services	P	X	P
Home-Based Day Care	X	X	X
Institutional Uses (facilities for treatment of aged persons, children, alcoholics, narcotics, wounded, mentally infirm, etc.)	C	X	C
Libraries	M	X	P
Museum	M	X	P
Nursery School	M	X	P
Nursing Home/Rest Home	C	X	X
Parks (community or neighborhood)	M	X	P
Police Station	C	C	P
Post Office (Branch or Terminal)	C	C	P
Public Flood Control Facilities	C	C	C
Public Utilities Substation and Facilities	C	C	C
Public Schools (Preschool, Elementary, Junior High and High)	C	X	C
Recreation, Non-profit	M	X	P
Social Service Facilities	P	P	P
Private Trade School/Training School	M	X	M

USES PERMITTED IN NON-RESIDENTIAL ZONES			
Land Use	General Commercial Zone (C-4)	Light Industrial Zone (M-1)	Public Facilities Zone (PF)
Office/Professional Uses			
Administrative/Professional Offices	P	X	P
Banks	P	X	X
Financial Institutions (mortgage, real estate, tax, bookkeeping, credit, insurance, brokers, etc.)	P	X	X
General offices	P	P	X
Medical and Dental Offices	P	X	X
Utility Business Office	P	P	X
Commercial Uses			
Acupressure Clinic	C	X	X
Adult Arcade**	P	X	X
Adult Bookstore**	P	X	X
Adult Business**	P	X	X
Adult Cabaret**	P	X	X
Adult Motion Picture Theater**	P	X	X
Adult Novelty Store**	P	X	X
Agriculture Produce Stands	C	X	X
Ambulance Service	C	C	X
Animal Hospitals	C	X	X
Animal Raising or Breeding	X	X	X
Antique Stores	P	X	X
Appliance Stores/Shops	P	X	X
Athletic Clubs, Health Clubs, Fitness Centers	M	X	X
Auditoriums	C	X	C
Auto Accessories	M	X	X
Auto Rental	M	X	X
Auto Repair and Painting	M	M	X
Auto Sales (New or Used)	M	X	X
Auto Manufacturing	X	M	X
Automobile Service Station	M	X	X
Bakeries	P	X	X
Bars	C	X	X
Barbers	P	X	X
Beauty Shop	P	X	X
Billboards	C	C	X
Bingo Parlors***	P	X	X
Blueprinting and Copying Services	P	P	X
Book Stores	P	X	X
Bowling Alleys	M	X	X
Branch Post Office (accessory use or freestanding)	P	P	X
Building Contractor	X	P	X
Building Materials	M	P	X

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USES PERMITTED IN NON-RESIDENTIAL ZONES			
Land Use	General Commercial Zone (C-4)	Light Industrial Zone (M-1)	Public Facilities Zone (PF)
Commercial Uses			
Bulk Fuel Dealers	X	C	X
Business Services	P	X	
Buy-Back Recycling Center	M	M	X
Camping and Picnic areas	C	X	P
Car Wash	C	X	X
Card Club or Casino ***	P	X	X
Carnivals	T	T	T
Catering Services	P	X	X
Charitable Use	P	X	P
Christmas Tree Sales	T	T	T
Clinics	P	X	C
Clubs and Lodges	C	X	C
Cocktail Lounges and Bars	C	X	X
Commercial Centers under 50,000 square feet	P	X	X
Commercial Centers over 50,000 square feet	M	X	X
Communication facilities	P	M	X
Community Recreation and Entertainment	C	X	X
Composting Facility	C	C	X
Computer Sales and Repair	P	P	X
Contract Station Post Office	P	X	X
Contractor's Temporary Office	T	T	T
Convalescent Facility or Home	C	X	X
Dance Studios	P	M	X
Dancing Halls and Discos	C	X	X
Delicatessen stores	P	X	X
Department Stores	P	X	X
Dress Shops	P	M	X
Drive-Through Restaurant	M	X	X
Drug Stores	P	X	X
Dry Cleaners	P	X	X
Eating/Drinking Establishments	P	X	X
Electrical Shops	P	P	X
Entertainment Centers or Facilities	M	X	X
Escort Service**	P	X	X
Fast-food Restaurant	P	X	X
Flower Shops	P	X	X
Food Stores	P	X	X
Fortune Telling	C	X	X
Furniture Stores	P	X	X
Garden Supplies/Building Materials	P	X	X
Gasoline Stations	C	X	X
Gift Shop	P	X	X
Greenhouse	C	X	X

USES PERMITTED IN NON-RESIDENTIAL ZONES			
Land Use	General Commercial Zone (C-4)	Light Industrial Zone (M-1)	Public Facilities Zone (PF)
Groceries/Food Markets	P	X	X
Hair Salons	P	X	X
Health Center/Club	P	X	P
Heliport/Helistop	C	C	C
Hobby and craft stores	P	P	X
Horticulture Gardens and Arboretums	C	X	P
Hospitals	C	X	X
Hotels and Motels	C	X	X
Kennels	C	C	C
Karaoke	M	X	X
Laboratory	X	P	X
Landfill	X	X	X
Laundromat	P	X	X
Licensed Gambling Establishment***	C	X	X
Liquor Sales and Stores	C	X	X
Mall or Retail Shopping Center under 50,000 square feet	P	X	X
Mall or Retail Shopping Center over 50,000 square feet	M	X	X
Massage Parlor	C	X	X
Medical and Dental Services (labs, clinics)	X	P	C
Miniature Golf Course	C	X	X
Mixed Use Development (residential and commercial)	C	X	X
Mortuary, Mausoleum, Columbarium, Crematorium	C	C	X
Motor Vehicle Services	P	X	X
Movie Theater	P	X	X
Music Stores	P	X	X
Music Studios	C	X	X
Nail Salon	P	X	X
Night Clubs	C	X	X
Optometrist/Optical Store	P	X	X
Outdoor Sales	M	X	X
Palm Reader	C	X	X
Park	C	X	P
Parking Lot (public)	M	M	P
Parking Lot (private)	M	M	X
Parking Garage	M	M	P
Parking Structure	C	C	P
Pawn Shops	C	X	X
Personal Services	P	X	X
Pest Control	P	P	X
Pet Shop, Sales/Services	P	X	X

USES PERMITTED IN NON-RESIDENTIAL ZONES			
Land Use	General Commercial Zone (C-4)	Light Industrial Zone (M-1)	Public Facilities Zone (PF)
Pharmacies	P	X	X
Photo Studio	P	X	X
Professional Services	P	X	X
Public Bathhouse	C	X	X
Real Estate Office (Temporary, less than 2 years)	M	X	M
Real Estate Office (Permanent, more than 2 years)	P	X	X
Recycling Centers	C	C	X
Relocatable Buildings	T	T	T
Rental/Repair Services	M	P	X
Restaurants	P	X	X
Retail Stores	P	X	X
Sales of General Merchandise	P	X	X
Satellite Dishes and Antennas for commercial use	C	C	C
Self-Storage Facilities/Mini Warehouses	C	C	X
Service Station (Automobile)	C	C	X
Shopping Center/Shopping Mall under 50,000 square feet	P	X	X
Shopping Center/Shopping Mall over 50,000 square feet	M	X	X
Sidewalk Sale or Parking Lot Sale	T	T	X
Sing-along or Karaoke Bars	M	X	X
Single Room Occupancy (SRO) Facility or Hotel	C	X	X
Solar Apparatus/Solar Energy System	M	M	M
Spas (commercial)	C	X	X
Supermarket	P	X	X
Swap Meets/Flea Markets (temporary or permanent)	C	C	X
Swimming Pools, Spas, Hot Tubs, and Cabanas	X	X	P
Take-out Restaurant	M	X	X
Tattoo Parlor	C	X	X
Tavern	C	X	X
Telecommunication Towers	C	C	C
Temporary Outdoor Event	T	T	T
Trailer Sales and Storage	C	X	X
Tree/ Plant Nursery	M	X	X
24-hour markets	P	X	X
Utility Central Office Switching Unit	M	P	M
Utility Equipment Structure	M	M	M
Veterinary Clinic	M	X	X
Video Arcades	C	X	X
Video Sales and Rentals	P	X	X
Warehouse Club****	C	C	X
Wholesale Business	X	P	X

USES PERMITTED IN NON-RESIDENTIAL ZONES			
Land Use	General Commercial Zone (C-4)	Light Industrial Zone (M-1)	Public Facilities Zone (PF)
Wireless Communication Facility	C	C	C
Yard Waste Processing Center	X	C	X
Industrial Uses			
Auto Painting	X	M	X
Auto Wrecking and Dismantling	X	X	X
Basic Manufacturing	X	P	X
Cabinet Making	X	P	X
Composting Facility	X	C	X
Contractor Yards	X	M	X
Food and Related Products Manufacturing	X	P	X
Glass Manufacturing	X	P	X
Hazardous Waste Facilities	X	C	X
Industrial Services/Repair	X	P	X
Intermediate Manufacturing/Assembly	X	P	X
Junk Yard or Salvage Yard	X	X	X
Machine Shop	X	P	X
Machinery Repair	X	P	X
Metal Fabricating/Manufacturing	X	P	X
Packaging	X	P	X
Plastics Manufacturing	X	P	X
Printing and related Industries	X	P	X
Recycling Facility	X	C	X
Transfer Stations	X	C	X
Transmission Towers (cell sites)	C	C	C
Trucking Terminal	X	M	X
Warehouses and Storage Buildings	X	P	X
Welding Shop	X	P	X
Wholesale Distribution and Storage	X	P	X
Wood Product Manufacturing	X	P	X

- * - campers, recreational vehicles, trailers, or automobiles shall not be occupied as living quarters in mobile home parks
- ** - subject to regulations for adult businesses under Title 5 of the Hawaiian Gardens Municipal Code
- *** - allowed only if the site is located within the Card Club Overlay District and with approval of a Site Plan Review
- **** - not allowed in any zone if the warehouse club would contain more than 130,000 square feet of gross floor area with more than 5,000 linear feet of shelf space, and where at least 10 percent of its gross sales revenues would come from non-taxable grocery items. This shall apply to the expansion of existing facilities, as well as to newly constructed facilities.

B. Uses Not Listed in Table. Land uses which are not listed in the table above are not permitted in the zones, unless the Community Development Director or the Planning Commission determines that such use is within one of the permitted use categories listed (e.g., principal use, conditional use, etc.). Specifically, the determination of an unlisted use shall be as follows:

1. *Director's Authority.* For uses that are not specifically listed in the above table, the Community Development Director shall determine if the use shall be permitted in a zone. In order to determine that a use is permitted as a principal, conditional, temporary, minor, or accessory use within a specific zone, the Director shall make all of the following findings:
 - The proposed use is consistent with the goals and policies of the General Plan.
 - The proposed use is compatible with the purpose and intent of the zone in which it is to be located.
 - The proposed use will not adversely affect the health, safety, or welfare of residents or other persons in the vicinity of the use.
 - The use is similar to and no more detrimental than those listed in the same zone.
2. *Referral to Planning Commission.* Any determination on a proposed unlisted use may be referred to the Planning Commission as a non-hearing item if the Director determines on a case-by-case basis that the public interest would be better served by such referral.
3. *Appeals.* Any determination on an unlisted use may be appealed in accordance with *Section 18.100.170 Appeals* of this Zoning Code.